



PLANNING COMMISSION
MARK HAMMERNESS, CHAIRPERSON
STACY MENDOZA, VICE CHAIRPERSON
ALICE ABATTI, COMMISSIONER
VERONICA HARVEY, COMMISSIONER
RUBEN RIVERA, COMMISSIONER

AGENDA

**PLANNING COMMISSION
TRAFFIC COMMISSION
REGULAR MEETING**

**200 West 9th Street
IMPERIAL, CA 92251**

**WEDNESDAY, JULY 27, 2022
6:30PM**

The Imperial Planning Commission Meetings, including public comments, are being Livestreamed on the City's social media pages. If attending in person, by remaining in the room, you are giving your permission to be recorded.

1. You are encouraged to observe the City Council meetings via Livestream at the City of Imperial Facebook page.
2. Email public comments to publicinformation@cityofimperial.org by 5:00 pm on Wednesday, July 27, 2022. Comments received by 5:00 pm will be read into the record during the regular meeting.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT (760) 355-4373. NOTIFICATION 48 HOURS PRIOR TO THE MEETING WILL ENABLE THE CITY TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28CFR 35.102-35.104 ADA TITLE II]

A. PLANNING COMMISSION CALL TO ORDER:

**6:30 PM
ROLL CALL
PLEDGE OF ALLEGIANCE**

B. PUBLIC APPEARANCES

B-1. Matters not appearing on the agenda. If you wish to address the Planning Commission concerning any item not appearing on the agenda and within the Commission's jurisdiction, please raise your hand and be acknowledged by the Chairperson, and at that time state your name and address for the record. The Chairperson reserves the right to place a time limit on each person's presentation of three (3) minutes. It is requested that longer presentations be submitted to the Commission in writing.

B-2. Matters appearing on the agenda. If you wish to address the Planning Commission concerning any item appearing on the agenda within the Commission's jurisdiction, please raise your hand and be acknowledged by the Chairperson, and at that time state your name and address for the record. The Chairperson reserves the right to place a time limit on each person's presentation of three (3) minutes. It is requested that longer presentations be submitted to the Commission in writing.

C. CONSENT CALENDAR

C-1. Approve Planning Commission Meeting Minutes for July 13, 2022.

D. PLANNING COMMISSION NEW BUSINESS: (DISCUSSION/ACTION –RECOMMEND/DENY)

D-1: Subject: Continued Public Hearing, Discussion/Action: Conditional Use Permit (CUP 22-03) to allow the onsite sale and consumption of alcoholic beverages and onsite live entertainment in an existing restaurant within the Neighborhood Commercial Zone located at 297 S. Imperial Avenue, APN #064-103-005.

1. Approval of Resolution No. PC2022-04: A Resolution of the Planning Commission approving Conditional Use Permit (CUP 22-03) for the onsite sale and consumption of alcoholic beverages and onsite live entertainment at Saltcedar BBQ located at 297 S. Imperial Avenue, APN#: 064-103-005. The project is categorically exempt from the California Environmental Quality Act (CEQA) under Section 15301 of the Guidelines-Existing Facilities.

D-2: Subject: Public Hearing, Discussion/Action: Specific Plan Amendment, Planned Unit Development Zone Change, and Revision to the Victoria Ranch Tentative Tract Map for Unit 4B

1. Approval of Resolution No. PC2022-06: A Resolution of the Planning Commission recommending the City Council approval of the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map, APN # 044-220-105. Mitigated Negative Declaration certified December 17, 2003.

F. REPORTS:

F-1: Commissioners Reports

F-2: Staff Reports

ADJOURN PLANNING COMMISSION MEETING UNTIL NEXT REGULARLY SCHEDULED MEETING AUGUST 10, 2022.

NOTE: Any documents produced by the City and distributed to a majority of the Planning Commission regarding any item on this agenda will be made available at the front counter at City Hall, located at 420 South Imperial Avenue, during normal business hours.



staff report

Agenda Item No. D-1

To: City of Imperial Planning Commission

From: Othon Mora, Community Development Director

Date: July 21, 2022

**Subject: Conditional Use Permit Request #22-03
Saltcedar BBQ
297 S. Imperial Avenue**

Summary:

Applicant:	Daniel Hughes
Project Location:	297 S. Imperial Avenue
Project Description:	Conditional Use Permit (CUP) to allow the onsite sale and consumption of alcoholic beverages and onsite live entertainment
Zoning:	V-C (Village Commercial)
General Plan:	Commercial Village
Environmental:	Categorically Exempt – 15301 Existing Facilities
Recommendation:	Approve, subject to conditions

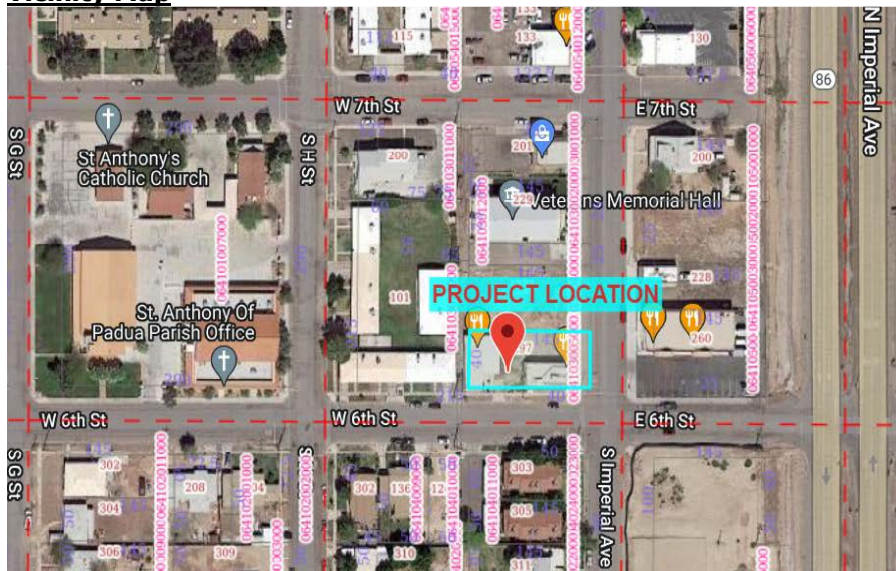
Background

Applicant, Daniel Hughes, is the owner and has been operating Saltcedar BBQ Restaurant since February 19, 2022. Currently, his limited hours of operation are 5 p.m. to sell out on Saturdays. Mr. Hughes' barbequed plates have become popular with residents as he regularly sells out. Effective June 25, 2022, Mr. Hughes will close his restaurant for the Summer, but will be diligently working on site improvements with funds he obtained from the California Dream Grant Program to create an inviting Texas barbeque style setting. In hopes of expanding and growing his business, Mr. Hughes would like to include the sale of alcoholic beverages and live entertainment at his establishment. Because the property is located within the Village Commercial Zone, he must obtain a Conditional Use Permit for the sale and consumption of alcoholic beverages and onsite live entertainment to acquire a Type 41 California Alcoholic Beverage Control License. Saltcedar BBQ will reopen in the Fall with expanded operating hours Thursday through Saturday 10:00 a.m. to 10:00 p.m.

Diane Johnson, the apartment complex's owner, to the South of the project submitted a letter on July 13, 2022, requesting placing conditions on patrons' alcoholic purchases. Ms. Johnson requests the restaurant only serve beer and/or wine and only with food orders. In her letter, Ms. Johnson also stated her opposition to the proposed onsite live entertainment that will negatively impact her tenants' peace. Noise attenuation from the onsite live entertainment in the form of the building's walls serve as a noise buffer to lessen the noise impact to the apartment complex to the south of the project site. As referenced in the City of Imperial's Noise Element, the building's walls are considered appropriate noise mitigation measures. In addition, the proposed stage is located against the building's North facing wall. The proposed acoustic music will project to the North and in the opposite direction of the apartment complex.

The project's public hearing, originally scheduled July 13, 2022, was continued to July 27, 2022, due to lack of quorum.

Vicinity Map



Aerial View



Discussion/Analysis

The project site is zoned V-C Village Commercial. The Village Commercial zone is intended as the social and civic heart of the City of Imperial with small retail shops, outdoor dining, parks and civic facilities in a vibrant, pedestrian friendly and family-oriented atmosphere.

Environmental Compliance

The project is categorically exempt from the California Environmental Quality Act (CEQA) under Section 15301-Existing Facilities of the Guidelines.

Evaluation

The Zoning Ordinance provides flexibility in the regulation of uses to ensure that unusual characteristics of certain uses are properly addressed in furtherance of the Imperial Zoning Ordinance. Section 24.19.340 of the City of Imperial Zoning Ordinance requires that the Commission make specific findings be made when reviewing a CUP. The required findings are listed below in ***bold italics***, followed by an evaluation:

1. ***That the proposed location, size, design, and operating characteristics of the proposed use is in accord with the Title and Purpose of this Ordinance, the Purpose of the zone in which the site is located, the Imperial General Plan, and the development policies and standard of the City.***

The subject site is located within a Commercial Village zone, which is intended to provide restaurants, retail and business uses located within the Downtown Core area.

2. ***That the location, size, design, and operating characteristics of the proposed use will be compatible with and will not adversely affect or be materially detrimental to adjacent uses, residents, buildings, structures, or natural resources with consideration given to those items listed in Section 24.19.340.B of the Imperial Zoning Ordinance.***

The location is ideal for the restaurant as it is surrounded by other downtown restaurants, retail and businesses. The project site abuts a multi-family apartment complex to the South within the Village Commercial Zone as well. The project is compatible with the adjacent land uses and it will not adversely affect the apartment complex's tenants with the established conditions of approval and Mr. Hughes' mitigation efforts addressing Ms. Johnson's concerns.

3. ***That the proposed location, size, design, and operating characteristics of the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.***

With the Conditions of Approval put in place, the proposed project will not be detrimental to the public health, safety or welfare of those within the vicinity of the project site.

4. ***That the proposed Conditional Use will comply with each of the applicable provisions of the Zoning Ordinance, except for any approved Variance.***

The proposed project complies with all provisions of the Zoning Ordinance.

Public Notification

The public hearing scheduled for July 13, 2022 was duly noticed in the Holtville Tribune and Calexico Chronicle, newspapers of general circulation on June 30, 2022. A Notice of Public Hearing was sent to all property owners within 300-feet of the property. Due to lack of quorum, the public hearing was continued to July 27, 2022.

Recommendation

Staff recommends the Planning Commission conduct a public hearing to receive comments for and against the project. Unless sufficient evidence to the contrary is presented at the public hearing, Staff recommends that the Planning Commission approve Conditional Use Permit 22-03 to allow for the use and operation of a restaurant with onsite sale and consumption of alcoholic beverages and onsite live entertainment.

Attachments

- RESO PC 2022-04
- Conditions of Approval
- Diane Johnson's Opposition Letter

Respectfully submitted,

Othon Mora, MCM, CBO
Community Development Director

RESOLUTION NO. PC2022-04

**A RESOLUTION OF THE PLANNING COMMISSION, OF THE CITY OF IMPERIAL,
APPROVING A CONDITIONAL USE PERMIT FOR THE ONSITE SALE AND
CONSUMPTION OF ALCOHOLIC BEVERAGES AND ONSITE LIVE
ENTERTAINMENT AT SALT CEDAR BBQ LOCATED AT 297 S. IMPERIAL AVENUE
SUBJECT TO THE ATTACHED CONDITIONS**

WHEREAS, Daniel Justus Hughes submitted an application for the onsite sale and consumption of alcoholic beverages and onsite live entertainment for Saltcedar BBQ located at 297 S. Imperial Avenue; and

WHEREAS, the subject site is located within the V-C Village Commercial Zone and eating and drinking establishments with alcoholic beverages and/or entertainment are conditionally allowed uses within that zone; and

WHEREAS, a duly notified public hearing was held by the Planning Commission on July 13, 2022, to hear testimony for and against the proposed Conditional Use Permit; and

WHEREAS, upon hearing and considering all testimony and arguments, examining the environmental study, analyzing the information submitted by staff and considering any written and oral comments received, the Planning Commission considered all facts relating to the project; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Imperial as follows:

- A) That the foregoing recitations are true and correct; and
- B) That based on the evidence presented at the public hearing, the Planning Commission hereby **APPROVES Conditional Use Permit #22-03** subject to the conditions of approval outlined in Exhibit A and based on the following findings:
 - 1. The project has been reviewed in accordance with the requirements set forth by the City of Imperial for implementation of the California Environmental Quality Act.
 - 2. The initial environmental assessment shows that there is no substantial evidence that the proposed land use will have a significant impact on the environment.
 - 3. The project meets all the requirements per section 24.19.340 of the Imperial Zoning Ordinance for granting said conditional use permit as follows:
 - a) That the proposed location, size, design, and operating characteristics of the proposed use is in accord with the Title and Purpose of this Ordinance, the Purpose of the zone in which the site is located, the

Imperial General Plan, and the development policies and standard of the City.

The subject site is located within a Commercial Village zone, which is intended to provide restaurants, retail and business uses located within the Downtown Core area.

- b) That the location, size, design, and operating characteristics of the proposed use will be compatible with and will not adversely affect or be materially detrimental to adjacent uses, residents, buildings, structures, or natural resources with consideration given to those items listed in Section 24.19.340.B of the Imperial Zoning Ordinance.

The location is ideal for the restaurant as it is surrounded by other downtown restaurants, retail shops and businesses. The project is compatible with the adjacent land uses and it will not adversely affect residents living in the apartment complex within the abutting the restaurant with the established conditions of approval and the applicant's mitigation efforts.

- c) That the proposed location, size, design, and operating characteristics of the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.

With the Conditions of Approval put in place, the proposed project will not be detrimental to the public health, safety or welfare of those within the vicinity of the project site.

- d) That the proposed Conditional Use will comply with each of the applicable provisions of the Zoning Ordinance, except for any approved Variance.

The proposed facility complies with all provisions of the Zoning Ordinance.

PASSED, ADOPTED AND APPROVED by the Planning Commission of the City of Imperial, this 27th day of July, 2022.

Planning Commission Chairman

ATTEST:

City Clerk

**CONDITIONS OF APPROVAL
FOR
SALT CEDAR BBQ CONDITIONAL USE PERMIT 22-03
FOR THE USE OF ONSITE CONSUMPTION, SALE OF ALCOHOLIC
BEVERAGES AND ONSITE LIVE ENTERTAINMENT
AT 297 S. IMPERIAL AVENUE; IMPERIAL, CA 92251 (APN 064-103-005)**

1. This Conditional Use Permit is granted for the use, onsite consumption, sale of alcoholic beverages and onsite live entertainment at 297 South Imperial Avenue; Imperial, CA 92251. This Conditional Use Permit shall only be valid so long as a Type 41 California Alcoholic Beverage Control Licenses are valid.
2. Hours of operation shall be limited to 10:00 AM to 10:00 PM Monday through Sunday.
3. Onsite live entertainment will mirror the hours of operation for the business outlined in condition of approval #2 within this document. The onsite live entertainment must meet all the requirements outlined in the City of Imperial's Noise Element. If complaints arise, the City of Imperial may impose noise pollution mitigation measures on the business.
4. There shall be no sales or service to intoxicated patrons.
5. California Fire Code occupant load is limited to under 100 occupants for establishments without an automatic fire sprinkler system installed. Applicant shall be responsible to maintain and post the establishment's occupant load. All outdoor events will be subject to occupant load requirements based on events' size information submitted for approval to the Imperial County Fire Department Fire Prevention Division.
6. Any outdoor event shall require approval from Imperial County Fire Department Fire Prevention Division prior to the event by submitting a detailed site plan and description specified by the Fire Prevention Division.
7. Prior approval for the use of fireworks and/or pyrotechnics shall be obtained by Imperial County Fire Department and conducted by a California licensed Professional Public Display Pyrotechnics in accordance with California Fire Code Chapter 56. Pyrotechnics include fireworks (including California Safe and Sane), sky lanterns and any open flame devices.
8. Any tents, canopies and special event structures shall comply with the California Fire Code Chapter 31 and be approved by the State of California Fire Marshall's office flame-retardant rating.

9. Any type of stage, musical equipment and/or production equipment shall not impede on the egress routes, exit doors, aisle way width. All fire protection equipment shall not be blocked or covered by any means.
10. Access for fire department apparatus is required to be a minimum of twenty (20) feet at all times. Fire lanes shall not be blocked by vehicles, products, or displays.
11. No alcoholic beverages shall be consumed outside of the enclosed building or the designated outdoor patio area. The City, at its sole discretion, may issue a Temporary Use Permit and/or Special Events Permit to allow for special events where alcoholic beverages may be consumed outdoors in areas not approved/designated by this Conditional Use Permit.
12. The provisions of this Conditional Use Permit are to run with the business (Saltcedar BBQ) and shall bind the current and future owner(s) successor(s) in interest, assignee(s) and/or transferor(s) of said project. This Conditional Use Permit is only valid for 297 South Imperial Avenue; Imperial, CA. More specifically Assessor Parcel Number: 064-103-005.
13. A copy of these Conditions of Approval and the California Department of Alcoholic Beverage Control (ABC) license are required to be kept on the premises and presented to any law enforcement officer or authorized City official upon request.
14. The proprietor/owner shall be responsible for the removal of all graffiti from the walls, fences, pavement, or buildings within seventy-two (72) hours of its appearance on the property.
15. The proprietor/owner shall be responsible for maintaining the parking lot and adjacent areas free of debris at all times.
16. Applicant must implement sound maintenance and housekeeping procedures.
17. Applicant must ensure a grease interceptor is installed and in working condition at all times to protect the integrity of City's sewer service.
18. Applicant shall comply with all local, State and Federal laws, regulations, rules, ordinances, and standards as they pertain to this project, whether specified herein or not. Where conflicts occur, the most stringent shall apply.
19. The conditional approval of the Conditional Use Permit shall not constitute the waiver of any requirement of the City's Ordinances or regulations, except where a condition set forth herein specifically provides for a waiver.
20. The Applicant shall pay all impact and capacity fees as required by the city.
21. All applicable Conditions of Approval shall be completed prior to opening for business.

22. If the Community Development Department finds and determines that the Permittee or successor-in-interest has not complied or cannot comply with the terms and conditions of the Conditional Use Permit, or the Planning/Building Department determines that the permitted activities constitute a nuisance, the City shall provide Permittee with notice and opportunity to comply with the enforcement or abatement order. If after receipt of the order (1) Permittee fails to comply, and/or (2) Permittee cannot comply with the conditions set forth in the CUP, then the matter shall be referred to the Planning Commission for permit modification, suspension, or termination, or to the appropriate enforcement authority.
23. Permittee shall not be permitted to maintain a nuisance, which is anything which: (1) is injurious to health, or is indecent or offensive to the senses, or an obstruction to the free use of property, so as to interfere with the comfortable enjoyment of life or property, and/or (2) affects at the same time an entire community or neighborhood, or any considerable number of persons, although the extent of the annoyance or damage inflicted upon individuals may be unequal, and/or (3) occurs during or as a result of the approved project.
24. As between the City and the Permittee, any violation of this permit may be a nuisance per se. The City may enforce the terms and conditions of this permit in accordance with its Codified Ordinances and/or State law. The provisions of this paragraph shall not apply to any claim of nuisance per se brought by a third party.

The undersigned hereby declare and certify that under penalty of perjury that I accept all conditions imposed by the Planning Commission in their approval as outlined above. As the project applicant, I agree to comply with these conditions and all other applicable laws and regulations at all times.

Daniel Hughes, Applicant
Saltcedar BBQ

Date

JOHNSON PROPERTIES
303 & 305 S. IMPERIAL AVE.
IMPERIAL, CA 92251
760-765-2255

July 13, 2022

Dennis Morita, City Clerk of Imperial
420 S. Imperial Avenue
Imperial, CA 92251

Dear Mr. Morita,

It has been brought to my attention that the Saltcedar BBQ has applied for a conditional use permit for their location at 297 S. Imperial Avenue. The applicant is requesting this permit to allow for the onsite sale and consumption of alcoholic beverages and on-site live entertainment.

The Saltcedar BBQ is located directly across the street from our townhouses at 303 & 305 S. Imperial Avenue. While it is understood that the serving of alcoholic beverages increases revenue to not only the proprietor, but to the City as well, we thus have no objections to its serving of them with two conditions:

- 1) only wine and/or beer to be served *and*,
- 2) these 2 classes of alcoholic beverages may only be purchased with a food order

As presented, we are **not in favor of on-site live entertainment.** Live, on-site entertainment will be a detriment to the neighborhood and its quality of life. This type of entertainment will directly and negatively impact my tenants' peace and quiet enjoyment to which they are entitled in a residentially-zoned property. Their home's tranquility will very likely be lost to loud voices trying to talk over louder music. Thus, as such, we are against any type of on-site live entertainment.

Thank you for your time and consideration.



Diane Johnson
Johnson Properties



Staff Report

Agenda Item No.

D-2

To: City of Imperial City Council

From: Othon Mora, Community Development Director

Date: July 19, 2022

Subject: **Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map**

Summary:

Applicant: Las Victorias, Inc.

Project Location: Southeast corner of Bernardi Street & Legakes Avenue
Assessor's Parcel Number 044-220-105

Request: **Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map**

Number of Lots: 1,279 units at 5,000 sq. ft. minimum lots

Modification Requested: 1,311 units including Planned Unit Development with minimum lot sizes of 3,000 sq. ft.

Zoning: **Current:** R-1 Single Family Residential
(Under approved Specific Plan)

General Plan: **Proposed:** PUD Planned Unit Development
(Under proposed Specific Plan Amendment)

Current: Medium Low Density Residential
(Under approved Specific Plan)

Environmental: **Proposed:** Planned Unit Development
(Under proposed Specific Plan Amendment)
Mitigated Negative Declaration (certified December 17, 2003)

Recommendation: Recommend the City Council approval of Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map

Background/Discussion and Analysis

The Developer submitted a Specific Plan and Annexation Application in 2003 for a proposed 320-acre mixed use development project to include residential, commercial, and community facility land uses. The Specific Plan was adopted by the City of Imperial on December 17, 2003 with a subsequent conditional approval of a Subdivision Map for the project site on June 2, 2004. Final annexation was approved by LAFCo on July 22, 2004. The original Specific Plan and Subdivision proposal included 894 single family units, 405 multi-family units, 20± acres of commercial development and 42± acres of community facilities including the dedication of 12.84 acres for school facilities and 21± acres for recreational parks and open space areas. The applicant is proposing a Specific Plan Amendment and Tentative Tract Map revisions, for the City's consideration.

The proposed amendment to the originally adopted Victoria Ranch Specific Plan consists primarily of change in zoning designation for the Unit 4B development and updating the Plan with current information and conditions. The overall footprint of the project site remains the same (Aten Road to the north, Cross Road to the west, Dogwood Road to the east, and the Central Drain Canal to the south). There are no material changes as it relates to the project site's overall land use assignment and land use densities, which are the primary determining factors in assessing environmental impacts.

The proposed changes and revisions are notable as it relates to design, phasing and internal circulation for the proposed Unit 4B TTM. The overall housing units approved for the Victoria Ranch Subdivision was 1279. The revised total housing units increased to 1311, resulting in 32 additional units. The proposed modification of a 2.4% increase is considered minor and will not significantly change the land use densities. Unit 4B TTM includes a total of 102 housing units.

Project Location



VR4B Models

Plan 1 Catalonia



Plan 2 Palmira



Plan 3 Valencia



General Plan Consistency

The current Land Use designation for the entire Victoria Ranch Subdivision is regulated by the adopted Victoria Ranch Specific Plan of 2003. The current minimum lot sizes within the Specific Plan area is 5,000 square feet. The proposed Planned Unit Development would incorporate a minimum lot size of 3,000 square feet. Objective 1 of the General Plan Land Use Element states that: "The land use distribution should be such, that the integrity of the existing land use is maintained and/or enhanced. Also, the new land uses should be distributed to encourage the development of residential uses at appropriate densities, to implement the quantified objectives for housing construction as contained in the General Plan Housing Element."

PUD Required Findings

The Planning Commission must adopt certain findings prior to the approval of any Planned Unit Development.

1. **Superior Design** – The proposed PUD must demonstrate a creative approach to the unified planning of development and incorporates a higher standard of integrated design and amenity. One of the intents of the smaller lot sizes is to provide a more affordable housing product that maintains the look and feel of a standard single family residential development.
2. **Meets PUD Requirements** – The proposed PUD meets all of the property development standards with regards to density, dwelling unit size, and building. All other development standards are left to the discretion of the Planning Commission. The minimum dwelling unit size allowed by the PUD Ordinance is 2 bedrooms and 1,000 square feet of living space.
3. **Consistency with the General Plan** – As discussed in this Staff Report, the project is consistent with and in furtherance with the goals, objectives and policies of the Land Use and Housing Elements. The Developer will comply with the provisions of the Parks and Recreation Element and is consistent with the Circulation Element Goals. The proposed project is also consistent with all other elements of the General Plan.
4. **Compatible with Environs** – Surrounding land uses include single family residences in development to the north, and west; vacant rural land to the east and an agricultural field to the south. The project is a detached single-family residential development and is compatible with surrounding residential uses.
5. **Circulation** – The project incorporates roadway improvements to mitigate any impacts to surrounding traffic and circulation.
6. **Open Spaces and Landscaping** – The quality and quantity of common open space areas in PUD's must be of higher standards than conventional development projects.
7. **Public Services** – Sufficient capacity within the City's infrastructure system and public services exist to service the Victoria Ranch Tentative Map Unit 4B.

Compatibility with Surrounding Land Uses

The project site is located in an active agricultural field, and is surrounded by agricultural uses to the north, south and to the east. The area to the west of the Victoria Ranch Subdivision is the Border Patrol Headquarters and currently zoned R-1 Residential Single Family.

Environmental Discussion/Analysis

The Environmental Evaluation Committee (EEC) reviewed the Victoria Ranch Specific Plan and Subdivision Map in 2003 and found that the project, as proposed, would create potentially significant impacts to agricultural resources, air quality, biological resources, geology and soils, noise, public services, parks and recreation, transportation and traffic, utility and service systems. Mitigation measures were incorporated and the EEC determined that adoption of a Mitigated Negative Declaration (MND) would be appropriate. The environmental documents were circulated through the State Clearinghouse (SCH#2003111004) and a final Notice of Determination was officially filed with the County Clerk in December 2003. The proposed revision will not affect a change in the original findings and mitigation measures and will continue to be enforced.

Public Notification

The public hearing scheduled for July 27, 2022 was duly noticed in the Holtville Tribune and Calexico Chronicle newspaper of general circulation on July 14, 2022 and a Notice of Public Hearing was sent to all property owners within 300-feet of the property.

Recommendation

Staff recommends the Planning Commission conduct a public hearing to receive comments for and against the project. Unless sufficient evidence to the contrary is presented at the public hearing, staff recommends that the Planning Commission recommends the City Council approval of Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map

Attachments

- Tentative Map-Victoria Ranch
- Tentative Map Unit 4B
- RESO PC2022-06
- Conditions of Approval

RESOLUTION NO. PC2022-06

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
IMPERIAL, CALIFORNIA, RECOMMENDING THE CITY COUNCIL
APPROVAL OF THE VICTORIA RANCH SUBDIVISION SPECIFIC PLAN
AMENDMENT, PLANNED UNIT DEVELOPMENT ZONE CHANGE AND
SUBDIVISION REVISION TO THE VICTORIA RANCH UNIT 4B TENTATIVE
TRACT MAP (APN 044-220-105)**

WHEREAS, Las Victorias Inc, has submitted an application for approval of Tentative Map Victoria Ranch Sub Unit 4B (APN 044-220-105), Specific Plan Amendment, Planned Unit Development Zone Change, Subdivision revision to the Victoria Ranch Unit 4B Tentative Trac Map; and

WHEREAS, a duly notified public hearing was held by the Planning Commission on July 27, 2022; and

WHEREAS, upon hearing and considering all testimony and arguments, examining and analyzing the information submitted by staff and considering any written and oral comments received, the Planning Commission considered all facts relating to the proposed Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Imperial as follows:

- A) That the foregoing recitations are true and correct; and
- B) That based on the evidence presented at the public hearing, the Planning Commission hereby recommends the City Council APPROVAL of Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map subject to Conditions of Approval outlined in Exhibit A; and
- C) All recommendations made by the Planning Commission are based on the following findings:
 - 1. The project has been reviewed in accordance with the requirements set forth by the City of Imperial for implementation of the California Environmental Quality Act.
 - 2. The project is in compliance with the California Environmental Quality Act, Section 2100 through 21176 of the Public Resources Code.
 - 3. The initial environmental assessment shows that there is no substantial evidence that the proposed Amendment to the Victoria Ranch Specific

Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map may have a significant impact on the environment.

4. That any sensitive resources located within the area of the project or adjacent to the area of the project will be protected and not be significantly impacted by the project.
5. The proposed Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map are consistent with the intent of the Imperial General Plan to maintain land use designation consistency within the incorporated area of a City's and its sphere of influence.
6. The proposed Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map are consistent with the policies and the land uses of the existing City of Imperial General Plan.
7. The proposed Amendment to the Victoria Ranch Specific Plan, Planned Unit Development Zone Change & Subdivision Revision to the Victoria Ranch Unit 4B Tentative Trac Map are consistent with the objective of the City of Imperial Zoning Ordinance.

PASSED, ADOPTED AND APPROVED by the Planning Commission of the City of Imperial, this 27th day of July, 2022.

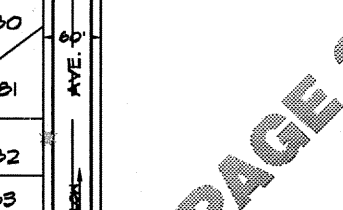
Planning Commission Chairman

ATTEST:

City Clerk

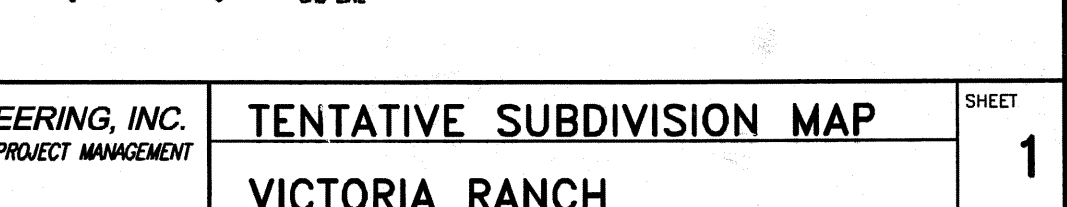
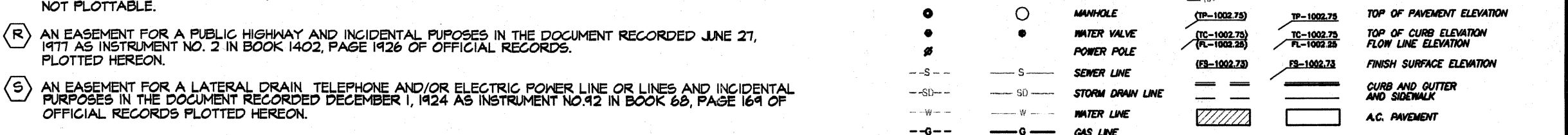
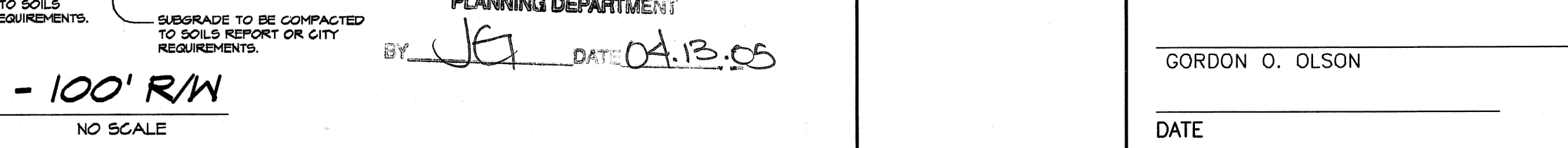
A SUBDIVISION OF TRACT 61, TOWNSHIP 15 SOUTH, RANGE 14 EAST, S.B.M., IN THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA

t to Scale



PROPOSED LAND USE: SINGLE FAMILY RESIDENTIAL/MULTIFAMILY
SCHOOLS/OPEN SPACE/ COMMERCIAL

SET A 92243 0 8	CITY IMPERIAL, CA		DATE 05/03/05	BY A.T.R.
CLIENT	VICTORIA PLACE LLC		FILE NAME 03001TNT.dwg	JOB NUMBER 03001



BY JG DATE 04.13.

GORDON O. OLSON

1122 STATE STREET
EL CENTRO, CALIFORNIA 92243

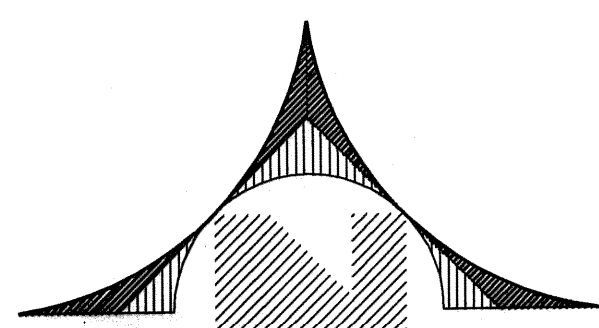
CLIENT	FILE NAME	JOB NUMBER
VICTORIA PLACE LLC	03001TNT.dwg	03001

3

CLIENT	FILE NAME	JOB NUMBER
VICTORIA PLACE LLC	03001TNT.dwg	03001

TENTATIVE MAP-VICTORIA RANCH

A SUBDIVISION OF TRACT 61, TOWNSHIP 15 SOUTH, RANGE 14 EAST, S.B.M., IN THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA



LEGEND

SYMBOL	LEGEND	SYMBOL	LEGEND
EXISTING	NEW	EXISTING	NEW
STREET LIGHTS	STREET LIGHTS	CATCH BASIN	CATCH BASIN
FIRE HYDRANTS	FIRE HYDRANTS	CONTOUR LINES	CONTOUR LINES
MANHOLE	MANHOLE	TOP OF PAVEMENT ELEVATION	TOP OF PAVEMENT ELEVATION
WATER VALVE	WATER VALVE	TOP OF CURB ELEVATION	TOP OF CURB ELEVATION
POWER POLE	POWER POLE	FLOW LINE ELEVATION	FLOW LINE ELEVATION
SEWER LINE	SEWER LINE	FINISH SURFACE ELEVATION	FINISH SURFACE ELEVATION
STORM DRAIN LINE	STORM DRAIN LINE	CURB AND GUTTER	CURB AND GUTTER
WATER LINE	WATER LINE	AND SIDEWALK	AND SIDEWALK
GAS LINE	GAS LINE	A.C. PAVEMENT	A.C. PAVEMENT

APPROVED

CITY OF IMPERIAL
PLANNING DEPARTMENT
BY JA DATE 01.13.05

DEVELOPMENT DESIGN & ENGINEERING, INC.
PLANNING • CIVIL ENGINEERING • LAND SURVEYING • PROJECT MANAGEMENT
1122 STATE STREET
EL CENTRO, CALIFORNIA 92243
(760) 353-8110
FAX (760) 352-6408

TENTATIVE SUBDIVISION MAP

VICTORIA RANCH

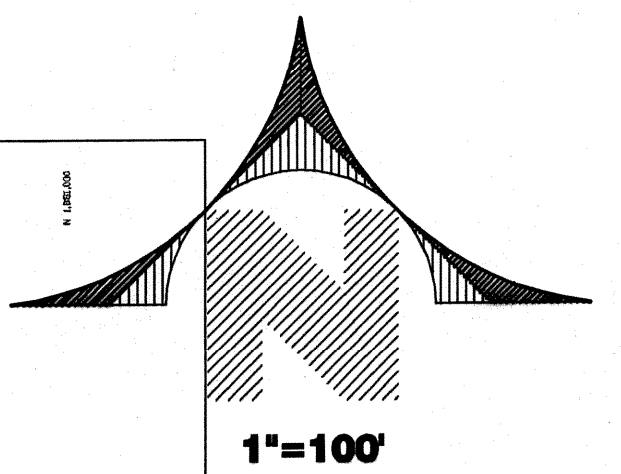
IMPERIAL, CA

VICTORIA PLACE, LLC

DATE: 05/03/05
FILE NO: 03001TNT.dwg
JOB NUMBER: 03001
SHEET: 2
3

TENTATIVE MAP-VICTORIA RANCH

A SUBDIVISION OF TRACT 61, TOWNSHIP 15 SOUTH, RANGE 14 EAST, S.B.M., IN THE COUNTY OF IMPERIAL, STATE OF CALIFORNIA



LEGEND

SYMBOL	LEGEND	SYMBOL	LEGEND
EXISTING	NEW	EXISTING	NEW
STREET LIGHTS	STREET LIGHTS	STREET LIGHTS	STREET LIGHTS
FIRE HYDRANTS	FIRE HYDRANTS	FIRE HYDRANTS	FIRE HYDRANTS
MANHOLE	MANHOLE	MANHOLE	MANHOLE
WATER VALVE	WATER VALVE	WATER VALVE	WATER VALVE
POWER POLE	POWER POLE	POWER POLE	POWER POLE
SEWER LINE	SEWER LINE	SEWER LINE	SEWER LINE
STORM DRAIN LINE	STORM DRAIN LINE	STORM DRAIN LINE	STORM DRAIN LINE
WATER LINE	WATER LINE	WATER LINE	WATER LINE
GAS LINE	GAS LINE	GAS LINE	GAS LINE
CATCH BASIN	CATCH BASIN	CATCH BASIN	CATCH BASIN
CONTOUR LINES	CONTOUR LINES	CONTOUR LINES	CONTOUR LINES
TOP OF PAVEMENT ELEVATION	TOP OF PAVEMENT ELEVATION	TOP OF PAVEMENT ELEVATION	TOP OF PAVEMENT ELEVATION
TOP OF CURB ELEVATION	TOP OF CURB ELEVATION	TOP OF CURB ELEVATION	TOP OF CURB ELEVATION
FINISH SURFACE ELEVATION	FINISH SURFACE ELEVATION	FINISH SURFACE ELEVATION	FINISH SURFACE ELEVATION
CURB AND GUTTER AND SIDEWALK	CURB AND GUTTER AND SIDEWALK	CURB AND GUTTER AND SIDEWALK	CURB AND GUTTER AND SIDEWALK
A.C. PAVEMENT	A.C. PAVEMENT	A.C. PAVEMENT	A.C. PAVEMENT

APPROVED

CITY OF IMPERIAL
PLANNING DEPARTMENT

BY: JCA DATE: 01.10.05

DEVELOPMENT DESIGN & ENGINEERING, INC.
PLANNING - CIVIL ENGINEERING - LAND SURVEYING - PROJECT MANAGEMENT
1122 STATE STREET
EL CENTRO, CALIFORNIA 92243
TEL: (760) 352-5110
FAX: (760) 352-5408

TENTATIVE SUBDIVISION MAP
VICTORIA RANCH

IMPERIAL, CALIFORNIA
VICTORIA PLACE LLC

SHEET
3

DATE: 05/03/05
BY: A.T.R.
FILE NAME: 03001TNT.dwg
03001

RESOLUTION PC 2022-06

EXHIBIT A CONDITIONS OF APPROVAL FOR AMENDMENT TO THE VICTORIA RANCH SPECIFIC PLAN, PLANNED UNIT DEVELOPMENT ZONE CHANGE AND SUBDIVISION REVISION TO THE VICTORIA RANCH UNIT 4B TENTATIVE TRACT MAP (APN 044-220-105)

1. The Developer/Applicant shall comply with all local, State and Federal laws, regulations, rules, ordinances, and standards as they pertain to this project, whether specified herein or not. Where conflicts occur, the most stringent shall apply.
2. The tentative map shall be consistent with and conform to the approved Victoria Ranch Specific Plan Land Use and Circulation Maps.
3. All off-site improvement plans for streets, water and sewer, and other construction items, shall be approved by the City Engineer prior to the start of any construction on off-site improvements within the project.
4. All plants, trees, and other vegetation planted within the street rights-of-way shall be approved by the City Parks Director prior to being planted.
5. The project shall be subject to the use standards outlined in the Planned Unit Development Ordinance and site development standards as follows:

The Applicant requests the same Building Setbacks as the approved Victoria Ranch 6A

Development Standards	Requirements
Front Setback	
Living Area/House	10' Minimum
Covered Porch	5' Minimum
Garage	15' Minimum
Rear Yard Setback	
Living Area	10' Minimum
Porches/Patios	5' Minimum
Side Yard Setback	
Living Area	5' Minimum
Street Side Yard Setback	10' Minimum
Driveway Curb-Cuts	20' Maximum
Distance between structures	5' Minimum

Architectural projections such as chimneys, overhangs, etc. may project onto any required setbacks subject to the approval of the Planning Director and the Fire Marshall.

6. The Developer/Applicant shall complete Legakes Avenue to the Southern tract boundary, as depicted in the Original TM Conditions of Approval.
7. Prior to issuing Certificates of Occupancy for homes in Victoria Ranch Unit 4B, the Developer must complete circulation improvements as established in the Specific Plan. The area between Legakes Avenue, Cross Road, Aten Boulevard and the southern City of Imperial boundary line, including their rights-of way. Class II bike lanes shall be consistent with bike lanes in the approved Legakes Striping Plan.
8. Class II bike lane improvements are necessary along the following roads:
 - A) Full length of eastern side of Cross Road
 - B) Full length of eastern side of Legakes Avenue
 - C) Additional bicycle facilities and improvements are shown in Figure 8 - Circulation and Alternative Transportation Mode of the project's Specific Plan
 - D) Class II bike lanes must be installed and shall have the following characteristics:
 1. Bike lanes shall have an overall width of 5 feet
 2. A 6-inch wide white line is to be installed separating the bike lane from the vehicle travel lane
 3. Bike stencils must be installed at approximately every 300 feet
 4. Bike path signs must be installed every 300 feet
9. The Developer/Applicant shall offer, for dedication, all rights of way, easements, or parcels of land required for both on-site and off-site construction of streets, pipelines, utilities and the storm water retention basin.
10. The Developer/Applicant shall pay all applicable impact and capacity fees prior to the issuance of any building permit.
11. The Developer/Applicant shall pay any and all amounts as determined by the City of Imperial to defray all costs for the review of maps, drawings, reports, field investigations, or other activities related to compliance of this project with City ordinances and/or any other laws, regulations, or requirements that apply. No Tract Map shall record until such costs have been paid to the City.
12. All maps, plans, studies, cost estimates, designs and calculations required for this project shall be subject to the review and approval of the City Engineer, the Department of Community Development and the Department of Public Services prior to submittal for approval to record any Tract Map.
13. All infrastructure improvements shall be constructed, or in lieu thereof, security provided to ensure construction, prior to the recordation of any Tract Map.
14. Infrastructure improvements include on-site and off-site improvements such as curb, gutter, sidewalk, retention basins, park improvements, and required noise walls.

15. The Developer shall provide adequate financial assistance to offset the impacts to local law enforcement, fire and school services to ensure the level of service of these departments are not adversely affected by the estimated population increase as a result of the development of this project. The fee amount shall be a pro rata share of each subdivided lot and shall be paid prior to the issuance of a building permit.
16. The Developer/Applicant shall set aside two (2) public school sites to the El Centro Elementary School District for the whole Victoria Ranch Subdivision. The subject school sites shall be of adequate size, configuration and location and shall be approved by the School District prior to recordation of any Final Maps. In the event that adequate school sites are not available within the project site due to conflicts with State Department of Education requirements, the Developer shall pay the appropriate school fees as determined by the El Centro School District.
17. Landscaping around the retention basin to be completed with the completion of the retention basin construction, landscape of other areas including the parkway.
18. Active owl burrows on and adjacent to the project site area shall be identified, and physically marked before the start of any construction activities, including rough grading. They shall then be protected from destruction during any site construction activities. Active owl burrows shall not be disturbed by construction activities during the breeding season (February 15 to August 15). Inactive owl burrows identified in the project area after the breeding season shall then be destroyed, to prevent owls from reoccupying these same burrows in the disturbed project area in the future. A Department of Fish and Game wildlife biologist shall be consulted prior to relocating any owls from the project area.
19. A Grading and Drainage Plan/Study shall be submitted to the City Engineer for review and approval. The Grading and Drainage Plan/Study shall address property grading and erosion control which shall include the prevention of sedimentation or damage to off-site properties. A Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the City of Imperial for review and approval. Best Management Practices shall be utilized to minimize or prevent storm water pollution. Prior to the recordation of a Tract Map, the Developer/Applicant shall provide the City with a letter from the Imperial Irrigation District (IID) stating that the plans have been reviewed and approved for the discharge of storm water onto IID facilities.
20. Storm drainage shall be designed to utilize catch basins at street intersections. Storm drain pipe lines, retention ponds with flow through systems shall be utilized if possible and the system shall pump out to public drains. Temporary drainage systems shall utilize this same criteria. Facilities must be capable of primary treatment such as de-siltation prior to discharge to public drain.
21. For each phase, storm water basin(s) must be constructed to retain 110 percent of the required volume for that particular phase. The full build out of all retention basins must be completed prior to issuance of any building permit for the last phase of the project, unless required earlier by the City Engineer. The ultimate retention basin capacity shall be according to the approved original Tentative Map drainage factor of 85%.
22. The Developer shall install new water mains, valves, and fire hydrants as required to serve the new development area.
23. Construction sites shall control dust (PM-10) generation through daily watering in accordance with a dust control plan submitted to and approved by the Air Pollution Control District as required by Imperial APCD Rule 800.

24. All utilities including power lines, telephone lines, and cable television lines shall be installed underground. All existing drains and canals within the project site shall be relocated as necessary and installed underground.
25. The Developer/Applicant shall provide a soils report indicating, among other things, suitability of the site for the proposed development, specifications for earthwork, design guidelines for slabs and foundations and recommended roadway sections.
26. The conditional approval of the Tentative Subdivision Map shall not constitute the waiver of any requirement of the City's ordinances or regulations, except where a condition set forth herein specifically provides for a waiver.
27. The Developer/Applicant shall obtain, pay for, and comply with all permits from the Imperial Irrigation District, and other applicable agencies for all improvements within, across, or affecting the respective rights of way.
28. All Final Tract Maps shall provide for 10-foot public utility easements adjacent to all street rights of way for underground power, communications and cable television systems.
29. The Developer may construct the project in phases. However, the project phasing shall comply with the approved phasing plan, as contained in the Victoria Ranch Specific Plan, and as outlined below. Each portion or phase shall fully implement all mitigation measures outlined in the Mitigated Negative Declaration and other environmental documentation whether re-stated herein or not. All conditions set forth in this approval shall be implemented to the extent that each development phase can, together with any phase that preceded it, exist as an independent unit that minimizes all impacts identified in the environmental documentation and all other applicable regulations even if no subsequent phases are built.
30. All stationary mechanical equipment shall be properly screened with appropriate walls, building areas, and landscaping to prevent transmission of noise off of building site areas onto adjacent properties. No homes shall be constructed with skylights or other architectural features which could transmit noise from over- flying aircrafts.
31. The Tract Map shall include an aviation easement for all lots created. In addition, all lots will be developed and sold with a hold harmless agreement with the County of Imperial Airport.
32. For each phase of the project, the Developer shall provide a minimum 200 feet of open space buffer zone between new urban development and other private lands that are actively being farmed. The Developer shall record and inform homebuyers of agricultural easements to put new homeowners on notice regarding the noise, dust, odors, and other potential impacts associated with active farming of nearby lands. The Developer shall also inform homeowners of Imperial County's right to farm ordinance prior to the occupancy of each residence.
33. During the construction of Victoria Ranch Unit 4B improvements, the Developer shall complete the construction of Legakes Avenue to the full cross-section in accordance with the Victoria Ranch Phasing Map.
34. The Imperial County Fire Department shall review both, the Tentative Tract Map and improvement plans, and may provide additional Conditions of Approval. Such conditions may include, but not limited to the location and sizing of fire hydrants, premise identification numbers (address numbers), cul-de-sac radii, and roadway accesses.
35. In compliance with SB1383 State of California regulation and the City of Imperial's procurement

requirement, applicant shall integrate compost and/or mulch from a CalRecycle certified composter in all retention basins and landscaped areas. Proof of eligible compost supplier must be submitted to the City prior to the issuance of Certificate of Occupancy for Victoria Ranch Unit 4B Phase 1.

L:\Projects\2021\C21017-00 (DDG - VR4B TentativeMap)\Tentative Map\C21017-00TM.dwg 01/18/2022 09:29

TENTATIVE MAP VICTORIA RANCH SUB UNIT 4B

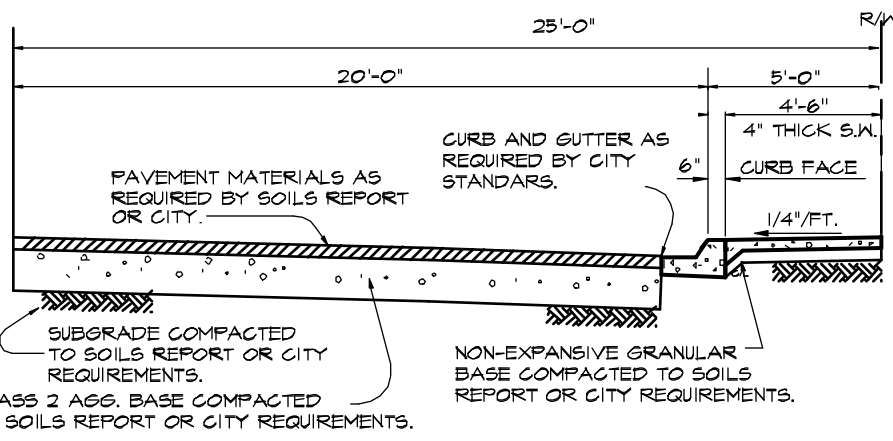
IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

GENERAL NOTES:

- (1) WATER AND SEWER FACILITIES PER THE CITY OF IMPERIAL
- (2) A GRADING AND DRAINAGE PLAN TO BE APPROVED BY THE CITY OF IMPERIAL CITY ENGINEER PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT
- (3) IMPROVEMENTS MUST COMPLY WITH ALL STANDARDS, CODES AND ORDINANCES OF THE CITY OF IMPERIAL
- (4) SEWER LINES SLOPE A MINIMUM OF 0.002 FT/FT.
- (5) GUTTER FLOWLINE GRADES SLOPE A MINIMUM OF 0.002 FT / FT.
- (6) STREET NAMES ARE TO BE APPROVED BY THE CITY OF IMPERIAL
- (7) UNDERGROUND CONDUITS FOR ELECTRICAL POWER, CABLE, TELEVISION AND TELEPHONE TO BE LOCATED IN PARKWAYS BETWEEN SIDEWALKS AND PROPERTY LINE.
- (8) ESTIMATED POPULATION EQUIVALENTS:
SINGLE FAMILY 4 PERSONS/LOT
ESTIMATED POPULATION AT FULL DEV. 408 PERSONS
- (9) ESTIMATED AVERAGE DAY WATER DEMANDS:
SINGLE FAMILY 250 GAL/PER/DAY
ESTIMATED DEMAND AT FULL DEV. 0.102 MIL. GAL/ DAY
PEAK FLOW AT FULL DEV. 177 GPM
FIRE DEMAND AT PEAK FLOW AND 1500 GPM AT ONE HYDRANT
AND 1000 GPM AT TWO SIMULTANEOUS HYDRANT.
- (10) ESTIMATED AVERAGE DAY SEWAGE DEMANDS:
SINGLE FAMILY 100 GAL/PER/DAY
ESTIMATED DEMAND AT FULL DEV. 0.0408 MIL. GAL/DAY
PEAK FLOW AT FULL DEV. 0.0816 MIL. GAL/ DAY
- (11) FOR STORM WATER RETENTION BASIN SEE VICTORIA RANCH SUBDIVISION MASTER DRAINAGE DRAINAGE STUDY, RETENTION BASIN IS SIZED TO STORE THE 100-YEAR FREQUENCY STORM (3" OF RAIN). CONVEYANCE SYSTEM IS DESIGNED FOR A 25 YEAR STORM.
- (12) BUILDING SETBACKS:
FRONT YARD SETBACK: (TO GARAGE) 15'
SIDE YARD SETBACK: 5'
REAR YARD SETBACK: 10'
- (13) STREET PAVING, CURBS AND GUTTERS, SIDEWALKS, STORM WATER DITCHES AND INLETS AND STORM WATER PIPELINES, LYING WITHIN STREET RIGHT- OF- WAY, TO BE OWNED, OPERATED AND MAINTAINED BY THE CITY OF IMPERIAL
- (14) IMPROVEMENTS CALLED FOR OUTSIDE OF THE BOUNDARIES OF THIS SUBDIVISION SHALL BE SUBJECT TO ACQUISITION OF RIGHTS-OF-WAY AS PROVIDED BY SECTION 66456.1 OF THE SUBDIVISION MAP ACT
- (15) THE EXACT DESIGN AND LOCATION OF IMPROVEMENTS INDICATED ON THIS MAP SHALL BE DETERMINED BY THE DESIGN PROCESS AND APPROVED BY THE CITY ENGINEER
- (16) FINAL DESIGN OF THE STRUCTURAL PAVEMENT SECTION WILL BE DETERMINED BY THE SOILS ENGINEER
- (17) STREET SIGNAGE TO BE LOCATED PER THE CITY'S STANDARDS AND PAID BY THE DEVELOPER
- (18) THE FINAL LOCATION AND NUMBER OF STORM DRAIN LINES AND INLETS/OUTLETS SHALL BE DETERMINED IN FINAL ENGINEERING AND APPROVED BY THE CITY ENGINEER
- (19) 1" WATER SERVICE & 4" SEWER LATERAL WILL BE PROVIDED PER LOT
- (20) GROSS AREA: 14.65 ACRES
- (21) NET LOT AREA: +/- 13.05 ACRES
- (22) TOTAL NUMBER OF LOTS: 102
- (23) MINIMUM LOT SIZE: 3528 SQ FT
- (24) AVERAGE LOT SIZE: 3909.34 SQ FT
- (25) MINIMUM LOT WIDTH: 49 FT
- (26) MINIMUM LOT LENGTH: 72 FT

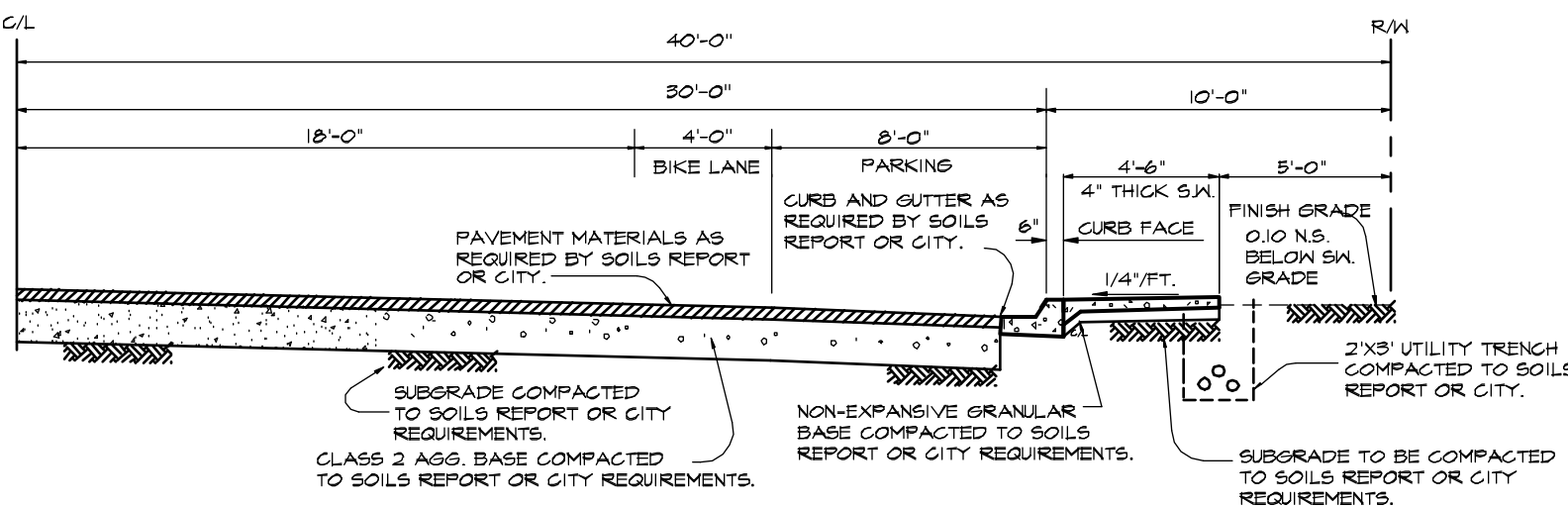
RECORDED EASEMENTS:

- (1) IMPERIAL IRRIGATION DISTRICT: AN EASEMENT FOR DRAIN CANAL, TELEPHONE AND/OR ELECTRIC POWER LINE OR LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED FEBRUARY 14, 1924 IN BOOK 224, PAGE 200 OF OFFICIAL RECORDS. PLOTTED HEREON.
- (2) IMPERIAL IRRIGATION DISTRICT: AN EASEMENT FOR LATERAL DRAIN, TELEPHONE AND/OR ELECTRIC POWER LINE OR LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED MARCH 12, 1936, IN BOOK 419, PAGE 427 AND RE-RECORDED APRIL 16, 1936 AS FILE NO. 9 IN BOOK 428, PAGE 174 OF OFFICIAL RECORDS. PLOTTED HEREON.
- (3) IMPERIAL IRRIGATION DISTRICT, AN EASEMENT FOR DRAINAGE DITCHES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED DECEMBER 1, 1924 IN BOOK 68, PAGE 169 OF OFFICIAL RECORDS. PLOTTED HEREON.
- (4) IMPERIAL IRRIGATION DISTRICT, AN EASEMENT FOR DRAIN CANAL, TELEPHONE LINES, POWER LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED FEBRUARY 14, 1924 IN BOOK 224, PAGE 194 OF OFFICIAL RECORDS. PLOTTED HEREON.
- (5) IMPERIAL IRRIGATION DISTRICT, AN EASEMENT FOR POWER LINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED APRIL 22, 1948 IN BOOK 104, PAGE 404 OF OFFICIAL RECORDS. ONLY APPROXIMATE LOCATION PLOTTED HEREON.



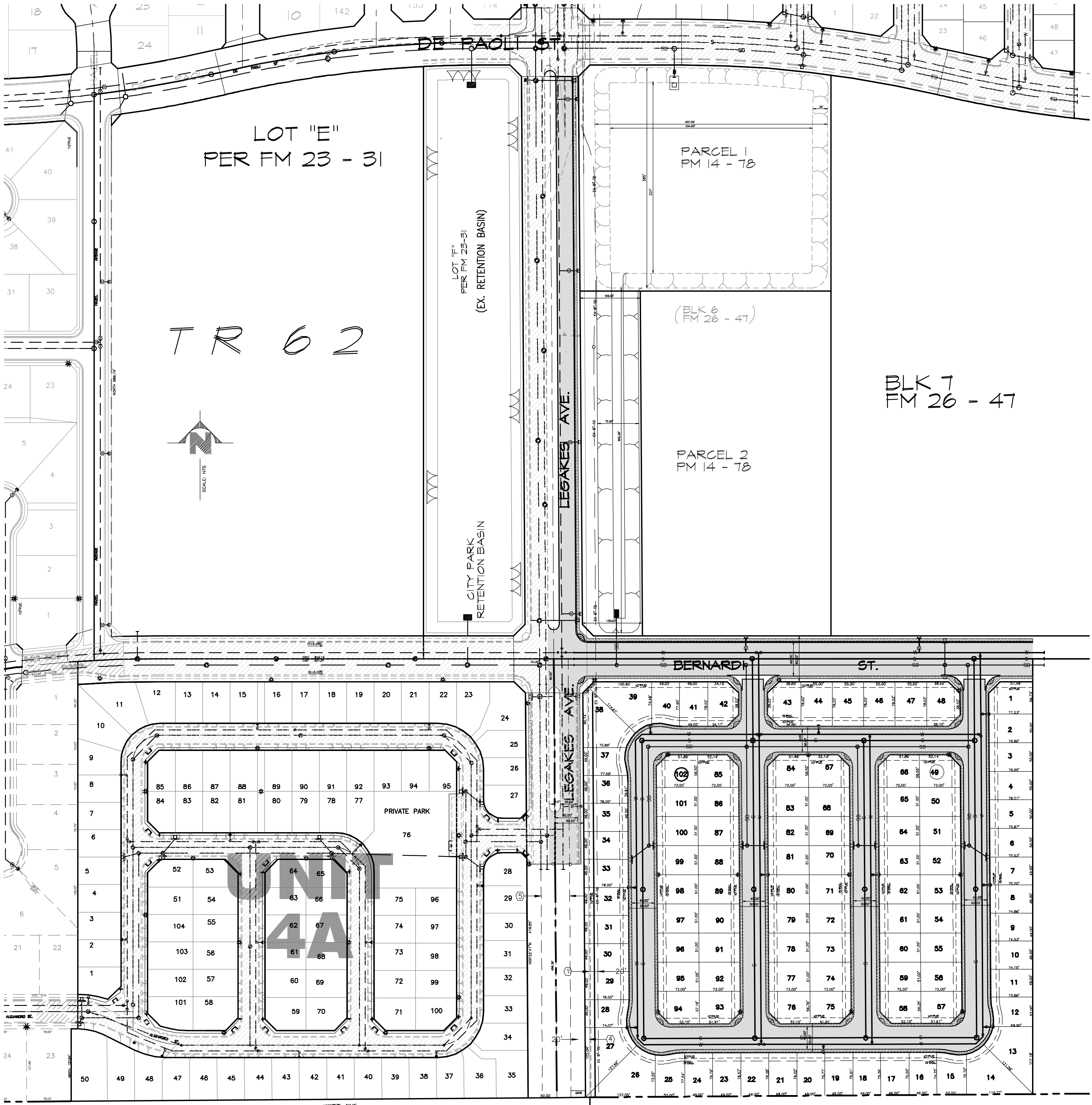
TYPICAL INTERIOR STREET 1/2 SECTION - 50' R/W

NO SCALE



BERNARDI STREET 1/2 SECTION - 80' R/W

NO SCALE

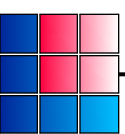


LEGEND

	EXISTING	PROPOSED
CURB AND GUTTER AND SIDEWALK		
STREET LIGHT		
CATCH BASIN		
PAVEMENT		
DRAIN PIPE		
WATER LINE		
SEWER LINE		
LOT NUMBER		
PUBLIC UTILITY EASEMENT		
BUILDING SETBACK LINE		
RIGHT OF WAY		

BENCH MARK

BENCH MARK
COUNTY BENCHMARK No. 69
ALONG THE SPR 288 FT. NORTH OF THE INTERSECTION
WITH CLARK ROAD.
ELEVATION = 946.30
BM # 2
TOP OF EXISTING F.H. LOCATED AT THE NE CORNER
OF THE INTERSECTION OF BERNARDI & CEDRO AVE.
ELEVATION = 946.77



LC ENGINEERING CONSULTANTS INC.
CIVIL ENGINEERING AND SURVEYING/CONSTRUCTION MANAGEMENT SERVICES
1065 State Street
El Centro CA 92243
www.lceinc.com
tel: 760.353.8110
info@lce-inc.com
jim@lce-inc.com

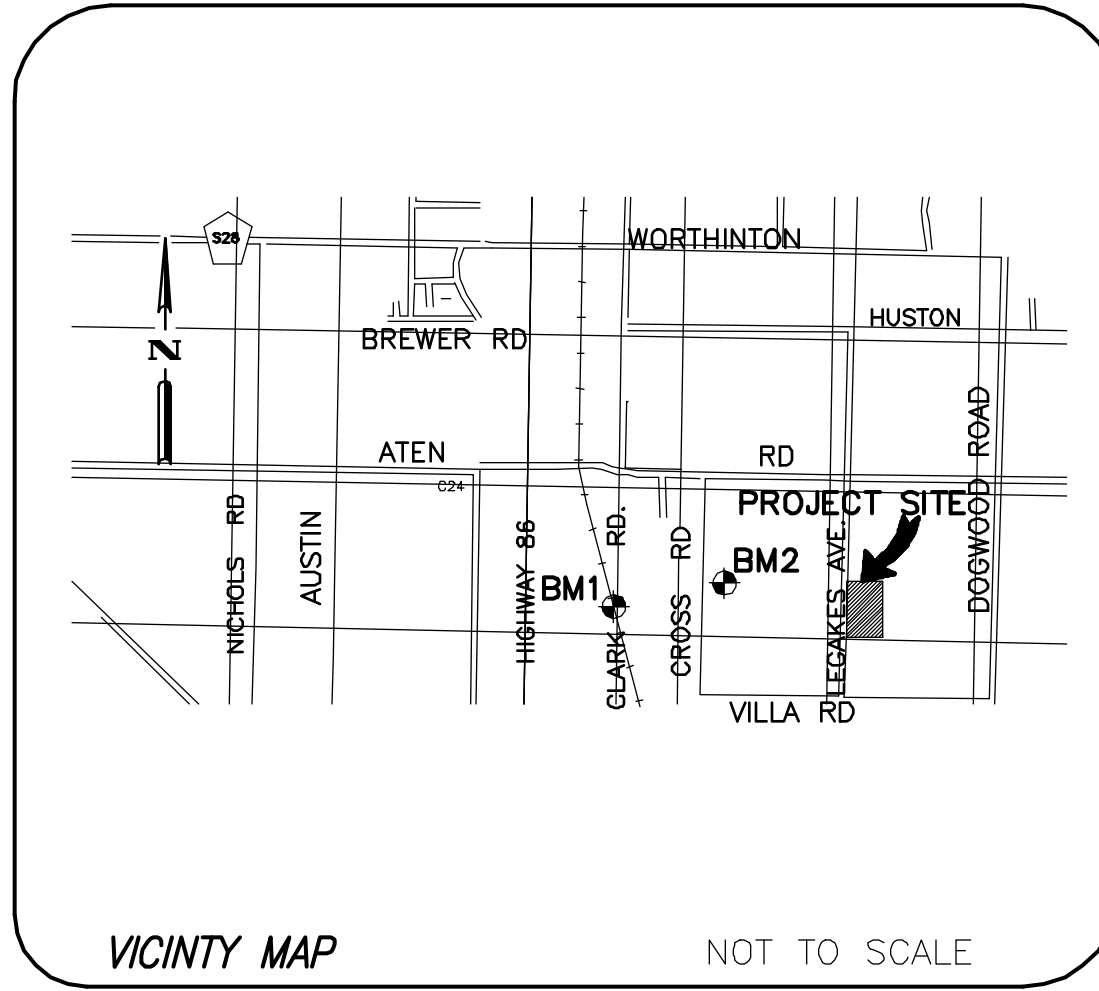
TENTATIVE MAP

VICTORIA RANCH
UNIT NO. 4B

IMPERIAL, CALIFORNIA

LAS VICTORIAS INC.

SHEET
1
3
DATE
1/17/22
JOB NUMBER
C21017-00TM
C21017-00



LEGAL DESCRIPTION

A RE-SUBDIVISION OF BLOCK 12 OF VICTORIA RANCH
SUBDIVISION UNIT No. 3C, IN THE CITY OF IMPERIAL.
AS SHOWN BY MAP ON FILE IN BOOK 26 PAGES
47-54 INCLUSIVE OF FINAL MAPS, RECORDS OF
IMPERIAL COUNTY, CALIFORNIA.

OWNER/DEVELOPER

LAS VICTORIAS INC.
2089 N. MARSHALL AVE.
EL CAJON, CA 92020

ENGINEER

L C ENGINEERING CONSULTANTS INC.
1065 STATE STREET
EL CENTRO, CA 92243
(760) 353-8110

SOILS ENGINEER

LANDMARK CONSULTANTS, INC.
780 N 4TH STREET
EL CENTRO, CA 92243
(760) 320-3000

ASSESSORS PARCEL NUMBER

A.P.N. 044-220-105-00 AREA: 14.65 AC.

FLOOD ZONE

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP
PANEL 0625C1725C OF SEPTEMBER 26, 2008, THE
SITE IS LOCATED IN FLOOD ZONE "X"

LAND USE DATA

PRESENT ZONING: A2U (URBAN)
PRESENT LAND USE: VACANT
PROPOSED LAND USE: SINGLE FAMILY DWELLINGS

DECLARATION OF RESPONSIBLE CHARGE

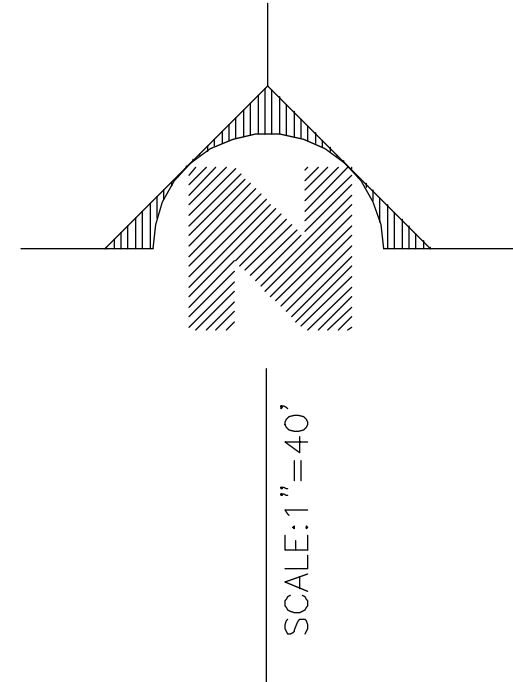
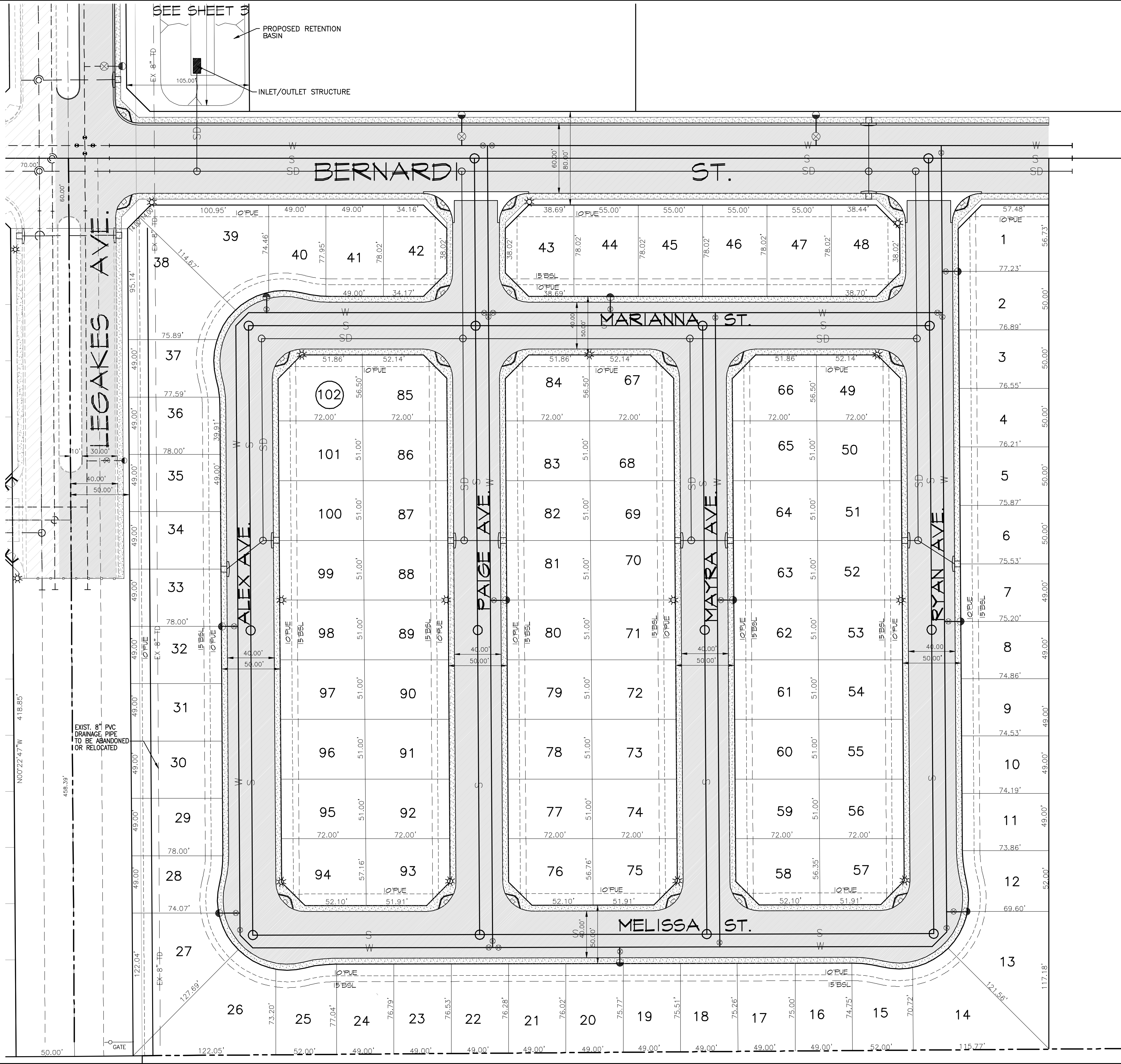
I HEREBY DECLARE THAT I AM THE ENGINEER OF THE WORK OF THIS PROJECT,
THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT
AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE AND
THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT CHECK OF THE PROJECT DRAWINGS AND SPECIFICATIONS
BY THE CITY OF BRAWLEY IS CONFINED TO REVIEW ONLY AND DOES NOT
RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITY FOR PROJECT DESIGN.

CARLOS CORRALES
LC ENGINEERING CONSULTANTS INC.
1065 STATE STREET
EL CENTRO, CALIFORNIA 92243
(760)353-8110

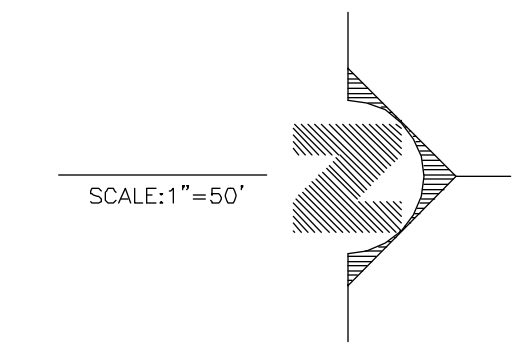
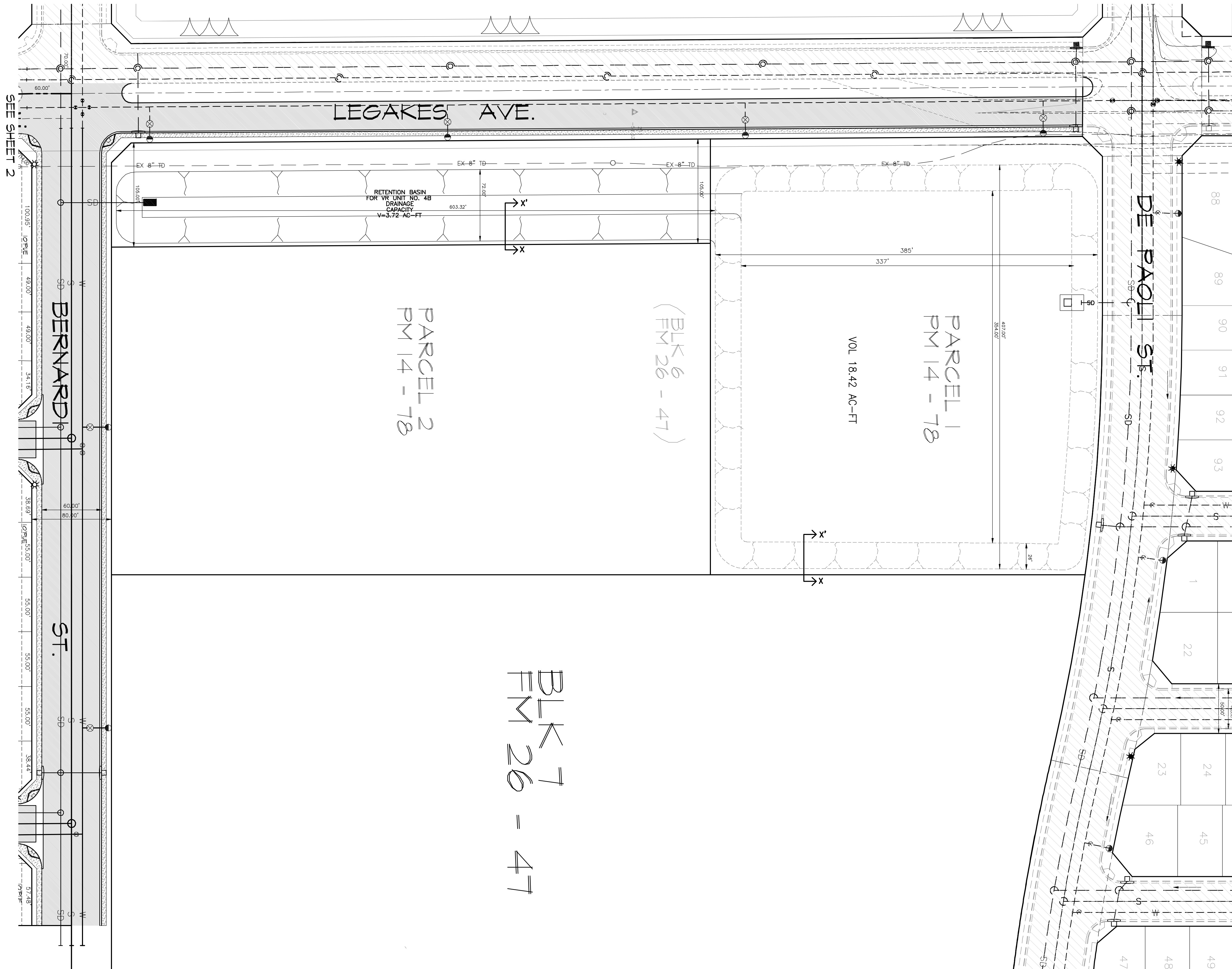
BY:
CARLOS CORRALES
R.C.E. No. 55,432

DATE:
EXPIRATION DATE: 12/31/22



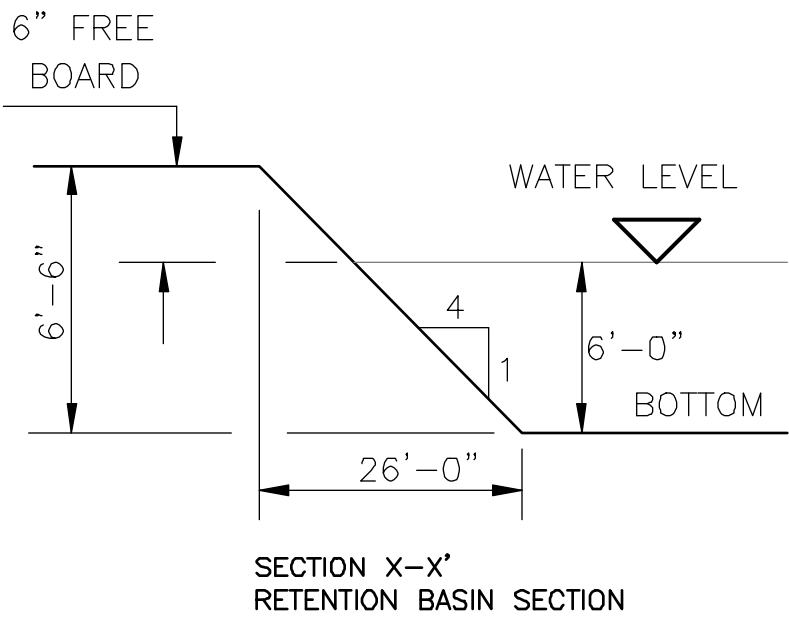
LEGEND		SYMBOL	
		EXISTING	PROPOSED
CURB AND GUTTER AND SIDEWALK			
STREET LIGHT			
CATCH BASIN			
PAVEMENT			
DRAIN PIPE			
WATER LINE			
SEWER LINE			
LOT NUMBER		49	
PUBLIC UTILITY EASEMENT			
BUILDING SETBACK LINE			
RIGHT OF WAY			

 LC ENGINEERING CONSULTANTS INC. CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT SERVICES 1065 State Street El Centro CA 92243 www.lc-engineers.com tel 760.222.8100 info@lc-engineers.com fax 760.222.4008		TENTATIVE MAP VICTORIA RANCH UNIT NO. 4B		SHEET 2 3
CLIENT IMPERIAL, CALIFORNIA LAS VICTORIAS INC.		DATE 1/17/22 BY STAFF		JOB NUMBER C21017-00TM C21017-00
BENCHMARK:				



DRAINAGE:

- A) RETENTION BASIN (STORAGE REQUIRED)
RETENTION BASIN DESIGN TO STORE 85%
OF A 100 YEAR STORM (3 INCHES OF RAIN)
WESTERLY 160-13.20 = 146.80 AC.
VICTORIA RANCH UNIT 6A 18.34 AC.
VICTORIA RANCH UNIT 3D 12.07 AC.
VICTORIA RANCH UNIT 4B 14.65 AC.
TOTAL 191.86 AC.
V=AREA X 3" X 0.85
V= 3/12 X 191.86 X 0.85 = 40.77 AC-FT
- B) RETENTION BASIN (TOTAL STORAGE PROVIDED)
TOP OF WATER AREA = 4.42 AC
BOTTOM AREA= 2.96 AC
AVERAGE= 3.69 AC
DEPTH= 6.0 FEET
VOL= 6.0x3.69 = 22.14 AC-FT
VOL FOR THE EXISTING WESTERLY PORTION
OF RET. BASIN = 19.50 AC-FT
TOTAL RET. PROVIDED = 41.64 AC-FT



 LC ENGINEERING CONSULTANTS INC. CIVIL ENGINEERING • LAND SURVEYING • CONSTRUCTION MANAGEMENT SERVICES 1065 State Street El Cerrito CA 94543 www.lc-engineers.com tel: 925.233.8700 info@lc-engineers.com fax: 925.233.4400		TENTATIVE MAP		SHEET 3	
		VICTORIA RANCH UNIT NO. 4B		3	
		IMPERIAL, CALIFORNIA		BY: STAFF	
BENCHMARK:		DATE 1/17/22		JOB NUMBER C21017-00	
		FILE NAME C21017-00TM		JOB NUMBER C21017-00	